

# Bristol City Council

## Planned Preventative Maintenance Report



ELMFIELD SCHOOL, GREYSTOKE AVENUE,  
BRISTOL, BS10 6AY

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**Date:** 30th April 2019  
**Our reference:** 3051556/BJH  
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## Contents

- 1.0 Introduction
- 2.0 Limitations
- 3.0 PPM Schedules and Summary Pages
- 4.0 Expenditure Summaries
- 5.0 Room Reference Plan

## 1.0 Introduction

- 1.1 This report has been prepared following the receipt of instructions from Stephen Ashman of Bristol City Council.
- 1.2 This report is a Planned Preventative Maintenance Schedule designed to assist the school's asset management strategy. The purpose of this report is to provide a reasonable prediction of expenditure required over the next 10 years to put into repair and maintain the internal and external parts of the buildings within the school site. Works have been identified as required to ensure buildings and their components function adequately, preserve the value of the building and satisfy legal obligations.
- 1.3 In preparing this report we have reviewed the available information submitted to us, and carried out inspections of the building fabric and mechanical and electrical services during our visits to site.
- 1.4 It is intended that this schedule will be a live document, referred to, referenced, revised and updated. Therefore, it will prove a useful tool, providing accurate, up-to-date information, tuned by the knowledge and experience of the site staff using it.
- 1.5 The schedule should be reviewed annually in order to make an assessment whether all the planned maintenance issues need to be addressed as currently proposed. A review of current condition may identify certain items as now defunct, or assess current condition as requiring certain maintenance issues to be either moved forward or allowing other issues to be pushed back into later years. We can provide an electronic copy of the schedule upon request.
- 1.6 The findings of this report have been summarised on a building by building basis within the following pages. Each sheet sets out the principle maintenance issues and prioritises these using a 'traffic light' system
- Red: Urgent issues requiring immediate attention to avoid further significant deterioration or health and safety concerns.
- Amber: Issues of significance either in terms of their potential consequences if left unaddressed or the scale and scope of the works.
- Green: Maintenance issues with limited risk for significant deterioration if performed diligently and regularly.
- 1.7 The overall projected expenditure for the site has also been presented within this summary. This is in the form of a bar graph showing the anticipated expenditure each year and how this is broken down between the different buildings.
- 1.8 Reporting years are assumed to correspond to calendar years with year 1 (one) commencing May 2019.

## 2.0 Limitations

- 2.1 In preparing this report we have considered planned preventative maintenance items and not reactive maintenance (except for those remedial items required in year 1 to put into repair). We therefore recommend that separate sinking funds are considered for this work, which may be based on historic expenditure.
- 2.2 All costs within this report are based upon today's cost, and there is no allowance for inflation. The costs also exclude professional and statutory fees, and VAT. All costs are budget estimates only and have been prepared using a mix of published data, experience, assessments of likely time taken to undertake works and associated typical daily rates. The PPM schedule should be updated annually using actual costs to update accordingly, i.e. for routine or cyclical items.
- 2.3 Please note that an allowance for safe access has been included in respect for the recommendations for working at height.
- 2.4 The schedules include summary requirements for cyclical maintenance based on manufacturer's recommendations and good practice. However, this report should not be viewed as an alternative to thorough examination of the relevant Health and Safety files.
- 2.5 Note that we have not allowed for routine landscaping maintenance as we assume this falls under a fixed term maintenance contract.

## 3.0 PPM Schedules and Summary Pages

# Planned Preventative Maintenance Report

Summary: Elmfield School, Greystoke Avenue, Bristol, BS10 6AY



## Property Description

Property is a single storey structure with mineral felt flat roof and numerous Georgian wire roof lights. External walls are fair faced brickwork and powder coated aluminium double-glazed sash windows. Internal finishes to the majority comprise of a combination of vinyl and carpet floor coverings decorative finishes to walls and suspended ceilings.

Condition: Fair

## Key Maintenance Issues

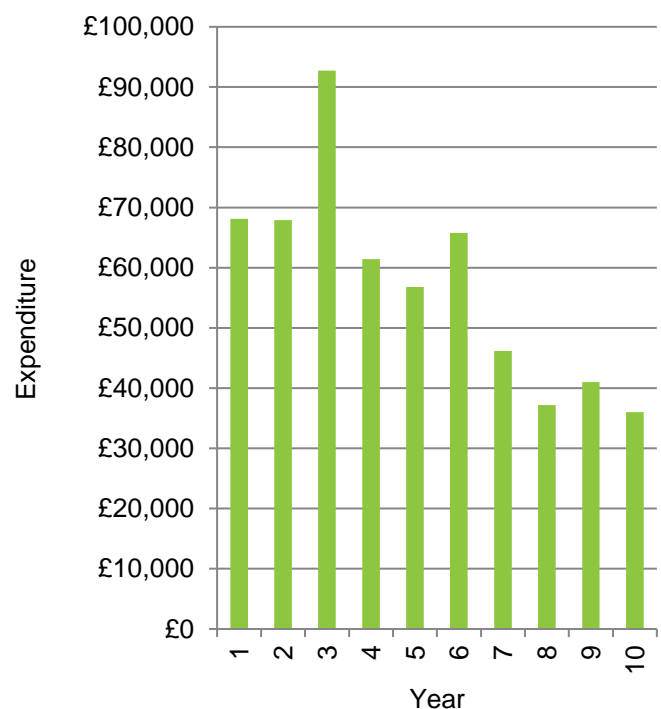
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Breach in fire compartmentation to the cookery teaching classroom
- Repairs to the flat roof covering and Georgian wire roof lights

- Allowance for roof light replacement

- Cleaning to windows and replacement and drainage outlets
- Internal redecorations
- Phased floor covering replacement

## Annual Expenditure Profile



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>External</b>														
<b>Safe Access</b>	Scaffolding		Provide safe high level access for all of the following works.		£2,000.00	£3,000.00		£3,000.00		£3,000.00		£2,000.00		£2,000.00
<b>Roof - Block C, Sports Hall</b>														
	Mineral felt flat roof covering	Moss & vegetation growth and debris across the roof.	Thoroughly clean roof covering removing moss and debris.			£100.00		£100.00		£100.00		£100.00		£100.00
		Minor splits and blistering to the felt covering	Patch repair Mineral felt roof					£500.00						
		Mineral felt is heavily deteriorated, weathered and beyond economic repair.	Overlay the felt roof covering with new membrane.							£10,000.00				
	White uPVC hopper heads and downpipes	Element is blocked and soiled.	Thoroughly clean the hopper heads and rod through down pipes.			£100.00		£100.00		£100.00		£100.00		£100.00
		Downpipe fixings are loose split or missing.	Replace uPVC down pipe fixings with new to match existing.			£150.00				£150.00				£150.00
	Cementous fascia boards	Fascias are heavily deteriorated, weathered and beyond economic repair.	Replace the fascia boards with new uPVC fascia boards which match the existing.			£2,500.00								
	Double glazed aluminium windows	Window frames and glazing is heavily soiled	Thoroughly clean the windows.		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		The seals have blown to the double glazed window.	Replace blown glazing unit with new to match existing			£750.00			£750.00			£1,500.00		£1,500.00
<b>Roof - Block C, Remainder</b>														
	Mineral felt flat roof covering	Moss & vegetation growth and debris across the roof.	Thoroughly clean roof covering removing moss and debris.			£200.00		£200.00		£200.00		£200.00		£200.00
		Minor splits and blistering to the felt covering	Patch repair Mineral felt roof		£1,100.00			£1,100.00						
		Mineral felt is heavily deteriorated, weathered and beyond economic repair.	Overlay the felt roof covering with new membrane.			£25,000.00		£25,000.00		£12,500.00				
	White uPVC hopper heads and downpipes	Element is blocked and soiled.	Thoroughly clean the hopper heads and rod through down pipes.			£200.00				£200.00				£200.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
		Downpipe fixings are loose split or missing.	Replace uPVC down pipe fixings with new to match existing.			£300.00				£300.00				£300.00
	Balloon guards to the internal down pipes	The balloon guards are split or missing.	Replace the balloon guards with new to match existing.			£150.00								£150.00
	Flat Georgian wire roof light	The Georgian wire roof lights are soiled and suffering from minor roof leaks.	Replace the seals around the glass and thoroughly clean the glazing.			£4,200.00				£380.00				£380.00
		Severe leaks to under side of Georgian wire roof lights.	Replace the roof lights with new domed PVC-u roof lights.		£5,000.00			£3,500.00		£3,500.00		£3,500.00		£3,500.00
<b>Roof - Block D</b>														
	Interlocking concrete ridge and pitch tiles	Tiles are soiled and covered with moss and lichen growth	Thoroughly clean roof coverings			£100.00		£100.00		£100.00		£100.00		£100.00
		Concrete tiles have slipped fractured or missing.	Refix slipped tiles and replace fractured or missing tiles.					£500.00		£750.00		£1,000.00		£1,250.00
	uPVC soffits, fascias and gutters and downpipes	Soffits, fascias, gutters and downpipes are soiled.	Thoroughly clean all surfaces and rod through down pipes.			£150.00		£150.00		£150.00		£150.00		£150.00
<b>External Elevations</b>														
<b>South Elevation</b>														
	Fair faced masonry wall.	The cement pointing is spalling and or fractured.	Repoint masonry wall with cement mortar as required.				£350.00				£500.00			
		Fair faced bricks are spalling and/or fractured.	Cut out defective brickwork and replace with new to match existing.				£350.00				£350.00			
	Double glazed aluminium windows	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new						£1,125.00					
		Double glazing unit has blown.	Replace double glazing unit.					£750.00			£750.00			£1,250.00
	Precast concrete sills	Sills are fractured and spalling.	Replace pre cast concrete sills with new to match existing.				£700.00			£700.00			£700.00	
	Aluminium entrance door	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new					£300.00						



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
		Double glazing unit has blown.	Replace double glazing unit.						£500.00					
	Timber canopy	Timber supports have not been treated	Undertake timber treatment.				£300.00			£300.00			£300.00	
		Polycarbonate roof sheets are soiled.	Thoroughly clean as required.		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		White uPVC guttering and downpipes are blocked and soiled.	Thoroughly clean the hopper heads and rod through down pipes.		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
	Vegetation growth	Vegetation growth to fair faced masonry.	Cut back and remove vegetation and allow for repairs where necessary.		£500.00						£500.00			
<b>East Elevation (Front)</b>														
	Fair faced masonry wall	The cement pointing is spalling and or fractured.	Repoint masonry wall with cement mortar as required.				£350.00				£500.00			
		Fair faced bricks are spalling and/or fractured.	Cut out defective brickwork and replace with new to match existing.				£350.00				£350.00			
	Double glazed aluminium windows	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new						£1,125.00					
		Double glazing unit has blown	Replace double glazing unit					£750.00			£750.00			£1,250.00
	Precast concrete sills	Sills are fractured and spalling.	Replace pre cast concrete sills with new to match existing.				£700.00			£700.00			£700.00	
	Aluminium entrance door	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new					£150.00						
		Double glazing unit has blown	Replace double glazing unit						£500.00					
	Shiplap timber soffit to fire escape walkway	Decorative finish is worn and weathered.	Prepare and revarnish timber soffit.			£120.00			£120.00			£120.00		
	Ceramic entrance tiles	Ceramic tiles are soiled, fractured and/or split.	Thoroughly clean and replace fractured or split tiles as required.		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>North Elevation</b>														
	Fair faced masonry wall.	The cement pointing is spalling and or fractured.	Repoint masonry wall with cement mortar as required.				£350.00				£500.00			
		Fair faced bricks are spalling and/or fractured.	Cut out defective brickwork and replace with new to match existing.				£350.00				£350.00			
	Double glazed aluminium windows	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new						£1,125.00					
		Double glazing unit has blown.	Replace double glazing unit.					£750.00			£750.00			£1,250.00
	Precast concrete sills	Sills are fractured and spalling.	Replace pre cast concrete sills with new to match existing.				£700.00			£700.00			£700.00	
	Aluminium entrance door	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new					£300.00						
		Double glazing unit has blown.	Replace double glazing unit.						£500.00					
<b>West Elevation (Rear)</b>														
	Fair faced masonry wall	The cement pointing is spalling and or fractured.	Repoint masonry wall with cement mortar as required.				£350.00				£500.00			
		Fair faced bricks are spalling and/or fractured.	Cut out defective brickwork and replace with new to match existing.				£350.00				£350.00			
	Double glazed aluminium windows	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new						£1,125.00					
		Double glazing unit has blown	Replace double glazing unit					£750.00			£750.00			£1,250.00
	Precast concrete sills	Sills are fractured and spalling.	Replace pre cast concrete sills with new to match existing.				£700.00			£700.00			£700.00	
	Aluminium entrance door	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new					£150.00						
		Double glazing unit has blown	Replace double glazing unit						£250.00					

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Louvered powder coated aluminium entrance door to boiler room.	Missing louvers to the entrance door.	Replace missing louvered sections with new to match existing.				£150.00						£150.00	
<b>Elevations to the Central Courtyard</b>														
	Fair faced masonry wall	The cement pointing is spalling and or fractured.	Repoint masonry wall with cement mortar as required.				£350.00				£500.00			
		Fair faced bricks are spalling and/or fractured.	Cut out defective brickwork and replace with new to match existing.				£350.00				£350.00			
		Painted finish is worn.	Redecorate the masonry walls.				£350.00			£350.00			£350.00	
	Double glazed aluminium windows	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new						£1,125.00					
		Double glazing unit has blown	Replace double glazing unit					£750.00			£750.00			£1,250.00
	Precast concrete sills	Sills are fractured and spalling.	Replace pre cast concrete sills with new to match existing.				£700.00			£700.00			£700.00	
	Aluminium entrance door	The glazing and frame is heavily soiled	Thoroughly clean the aluminium window		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
		Window sealant is split and lifting.	Cut out failed sealant and replace with new					£300.00						
		Double glazing unit has blown.	Replace double glazing unit.						£500.00					
<b>External Areas</b>														
<b>South External Area</b>														
	Timber fence.	Timber rails and posts have decayed.	Allowance for timber repairs and periodic deocraton where previously decorated.			£600.00		£500.00	£100.00	£500.00		£600.00		£500.00
	Timber storage shed.	Timber storage sheds are weathered and worn.	Undertake timber repairs as necessary and redecorate.			£350.00			£350.00			£350.00		
	Timber seated enclosure.	Timber seated enclosure weathered and worn.	Undertake periodic redecoration.			£250.00			£250.00			£250.00		
	Compost enclosure	Sections of masonry damaged and missing.	Undertake masonry repairs to compost enclosure and periodic redecoration.		£350.00			£100.00			£100.00			£100.00
	Concrete paving slabs.	Pavings are soiled and suffer from weed growth.	Thoroughly clean, weed and treat surfaces as required.				£225.00							£225.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
		Anticipated wear and tear to pavings.	Replace concrete pavings as required							£3,100.00				
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth and fractures.	Thoroughly clean, weed, treat repair surface as required.				£17,900.00							
	Decorated steel handrails	Anticipated wear to decorated steel handrails.	Undertake routine maintenance and decoration of handrails as				£200.00			£200.00			£200.00	
<b>West External Area</b>														
	Decorated steel handrails.	Anticipated wear to decorated steel handrails.	Undertake routine maintenance and decoration of handrails as				£200.00			£200.00			£200.00	
	Thermoplastic line markings.	Line markings to tarmac playground area are heavily worn.	Replace thermoplastic line markings.				£265.00						£265.00	
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth and fractures.	Thoroughly clean, weed, treat repair surface as required.				£20,750.00							
	Playground area.	Timber playground structure has not been treated.	Allowance for timber repairs and treatment.					£600.00				£600.00		
		Weed growth and softwood chippings are compacting.	Remove weed growth and replenish soft wood chippings.		£50.00	£50.00	£50.00	£250.00	£50.00	£50.00	£50.00	£250.00	£50.00	£50.00
		Timber panel edges are damaged and decayed.	Allowance to undertake repairs to timber panels.			£200.00			£200.00			£200.00		
	Masonry wall.	Sections of masonry wall damaged and missing.	Undertake masonry repairs.		£100.00									
	Timber fence.	Timber rails and posts have decayed.	Allowance for timber repairs.				£200.00			£200.00			£200.00	
<b>East External Area</b>														
	Decorated steel handrails	Anticipated wear to decorated steel handrails.	Undertake routine maintenance and decoration of handrails as				£200.00			£200.00			£200.00	
	Thermoplastic line markings	Thermoplastic line markings to carparking area are worn.	Replace thermoplastic line markings.		£1,500.00								£1,500.00	
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth and fractures.	Thoroughly clean, weed, treat repair surface as required.		£35,500.00									
	Concrete hardstandings	Areas of concrete hardstandings have fractured and are damaged.	Cut out and re-cast new concrete section.					£5,800.00						

Planned Preventative Maintenance Report



Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Concrete kerbs	Concrete kerbs are chipped and fractured.	Undertake routine repairs and replacements where applicable.							£2,300.00				
North External Area														
	Decorated steel handrails	Anticipated wear to decorated steel handrails.	Undertake routine maintenance and decoration of handrails as				£200.00			£200.00			£200.00	
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth and fractures.	Thoroughly clean, weed, treat repair surface as required.			£8,850.00								

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>INTERNALS</b>														
<b><u>Classrooms:</u></b> <b><u>Rooms: 1, 2, 3.</u></b>														
	Ceilings.	The ceiling and associated fittings are soiled.	Thoroughly clean as required.			£135.00			£135.00			£135.00		
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.				£65.00					£65.00		
	Floors.	Soiling and wear anticipated to carpeted floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.			£180.00			£1,300.00			£180.00		
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£2,650.00				£2,650.00			£2,650.00
	Windows	General adjustment anticipated to windows.	Ease and adjust windows and security shutters where applicable.			£125.00							£125.00	
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00
<b><u>Classrooms:</u></b> <b><u>Rooms: 32, 35, 37, 38, 39, 46, 47, 48, 49, 52</u></b>														
	Ceilings.	The ceiling and associated fittings are soiled.	Thoroughly clean as required.			£2,500.00						£2,500.00		
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.			£300.00						£300.00		
	Floors.	Soiling and wear anticipated to carpeted floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£670.00			£670.00			£4,700.00			£670.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£7,000.00			£7,000.00			£7,000.00	
	Windows	General adjustment anticipated to windows.	Ease and adjust windows and security shutters where applicable.				£150.00					£150.00		
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00
<b><u>Rooms: 40, 57, 58, 60.</u></b>									£230.00					
	Ceilings.	The ceiling and associated fittings are soiled.	Thoroughly clean as required.											
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.		£60.00						£60.00			

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Floors.	Soiling and wear anticipated to tiled floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.					£120.00						£950.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.							£1,650.00				
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00
<b>Room 51 - Accessible WC</b>	Ceilings.	The ceiling and associated fittings are soiled.	Thoroughly clean as required.			£85.00			£85.00					£85.00
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.		£20.00							£20.00		
	Floors.	Soiling and wear anticipated to vinyl floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£50.00			£350.00			£50.00			£50.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£375.00			£375.00			£375.00		
	Sanitaryware	General adjustment anticipated to sanitaryware.	Undertake periodic maintenance throughout.		£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£600.00	£15.00	£15.00
<b>Meeting Room: Room: 54</b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£350.00			£350.00			£350.00		
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.				£20.00				£20.00			
	Floors.	Soiling and wear anticipated to carpeted floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.			£90.00				£630.00				
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£800.00			£800.00			£800.00			£800.00
	Windows	General adjustment anticipated to windows.	Ease and adjust windows and security shutters where applicable.			£50.00				£50.00				£50.00
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00	£60.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b><u>Kitchen and Store; Room: 41</u></b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£395.00			£395.00				£395.00	
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.											
	Floors.	Soiling and wear anticipated to vinyl floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.			£120.00		£1,850.00				£120.00		
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£1,500.00						£1,500.00
	Windows.	General adjustment anticipated to windows.	Ease and adjust windows and security shutters where applicable.		£50.00				£50.00					£50.00
	Fixtures.	General wear anticipated to sink & tea point	Replace sink as required & tea point			£350.00						£2,800.00		
	Fire compartmentation	Fire compartmentation is compromised due to the rooflight location.	Provide suitable fire compartmentisation as required.		£500.00									
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
<b><u>Room 41A</u></b>	Ceilings.	The ceiling and associated fittings are soiled.	Thoroughly clean as required.			£140.00			£140.00			£140.00		
	Doors.	General adjustment anticipated to internal	Ease and adjust as required.		£20.00					£20.00				
	Floors.	Soiling and wear anticipated to vinyl floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.						£460.00					
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£545.00			£545.00			£545.00		
	Rooflights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
	Fire compartmentation	Fire compartmentation is compromised due to the rooflight location.	Provide suitable fire compartmentisation as required.		£500.00									



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
Rooms 4, 15, 17 & 18	Ceilings	The ceiling and associated fittings are soiled.	Thoroughly clean as required.			£495.00		£495.00		£495.00		£495.00		£495.00
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.				£480.00						£480.00	
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£110.00	£110.00	£1,405.00	£110.00	£110.00	£110.00	£110.00	£110.00	£110.00	£110.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£1,740.00			£1,740.00			£1,740.00	
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
	Fixtures	General wear anticipated to sink & tea point.	Replace sink as required & tea point.						£1,500.00					
Rooms 5, 6, 7, 8, 13 & 16	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£1,325.00		£1,325.00		£1,325.00		£1,325.00		£1,325.00	
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.					£305.00						£305.00
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£330.00	£330.00	£2,300.00	£330.00	£330.00	£330.00	£330.00	£330.00	£330.00	£330.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£3,821.00			£3,821.00			£3,821.00		
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00	£180.00
	Fixtures	General wear anticipated to sink & tea point.	Replace sink as required & tea point.						£1,500.00					

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Toilets, Rooms 14, 20 &amp; 43</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£370.00		£370.00		£370.00		£370.00		£370.00
	Doors	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.						£547.00					£547.00
	Floors	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£80.00	£80.00	£80.00	£80.00	£1,100.00	£80.00	£80.00	£80.00	£80.00	£80.00
	Sanitary ware	Soiling and staining anticipated.	Thoroughly clean as required.		£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£300.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£1,830.00			£1,830.00			£1,830.00	
<b>Hallway 2, 10, 19, 21, 75 &amp; 84</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£860.00		£860.00		£860.00		£860.00		£860.00
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.						£305.00					£305.00
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£200.00	£200.00	£200.00	£200.00	£1,300.00	£200.00	£200.00	£200.00	£200.00	£200.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£3,440.00			£3,440.00			£3,440.00	
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
<b>Rooms 71, 72, 73, 61 &amp; 62</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£1,715.00		£1,715.00		£1,715.00		£1,715.00		£1,715.00	
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.						£610.00					£610.00
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£500.00	£500.00	£500.00	£500.00	£6,700.00	£500.00	£500.00	£500.00	£500.00	£500.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£4,115.00			£4,115.00			£4,115.00		
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00
<b>Rooms 64, 67, 69 &amp; 68</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£540.00		£540.00		£540.00		£540.00		£540.00	
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.						£365.00					£365.00
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£1,800.00	£120.00	£120.00	£120.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£1,860.00			£1,860.00			£1,860.00			£1,860.00
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
<b>Rooms 66 &amp; 65</b>	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.				£122.00				£122.00			
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£200.00	£15.00	£15.00	£15.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£600.00			£600.00			£600.00			£600.00
<b>Rooms 22, 24, 28, 23, 30, 44, 70 &amp; 85</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£1,100.00		£1,100.00		£1,100.00		£1,100.00		£1,100.00	
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.								£1,150.00			
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£3,600.00	£250.00	£250.00	£250.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£4,300.00		£4,300.00		£4,300.00		£4,300.00		£4,300.00	
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£240.00	£240.00	£240.00	£240.00	£240.00	£240.00	£240.00	£240.00	£240.00	£240.00
<b>Rooms 26, 27, 29 &amp; 31</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.				£910.00		£910.00		£910.00		£910.00	
	Doors	General adjustment anticipated to internal doorsets.	Ease and adjust as required.				£490.00							£490.00
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£230.00	£230.00	£230.00	£230.00	£230.00	£230.00	£1,630.00	£230.00	£230.00	£230.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£2,750.00		£2,750.00		£2,750.00		£2,750.00		£2,750.00	
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
<b>Hallway 45, 55, 59 &amp; 83</b>	Ceilings	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.				£1,085.00		£1,085.00		£1,085.00		£1,085.00	
	Floors	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£250.00	£250.00	£1,800.00	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00
	Decoration	Wear and tear anticipated to decorated surfaces including walls, ceilings, radiators, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£3,050.00		£3,050.00			£3,050.00		
	Roof lights	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.		£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00	£120.00
<b>Totals</b>					£68,130.00	£67,891.00	£92,737.00	£61,400.00	£56,788.00	£65,785.00	£46,172.00	£37,166.00	£41,020.00	£35,987.00

# Planned Preventative Maintenance Report

Summary: Elmfield School, Greystoke Avenue, Bristol, BS10 6AY



## Property Description

Property is a single storey structure with mineral felt flat roof and numerous Georgian wire roof lights. External walls are fair faced brickwork and powder coated aluminium double-glazed sash windows. Internal finishes to the majority comprise of a combination of vinyl and carpet floor coverings decorative finishes to walls and suspended ceilings.

Condition: Needs replacement

## Key Maintenance Issues

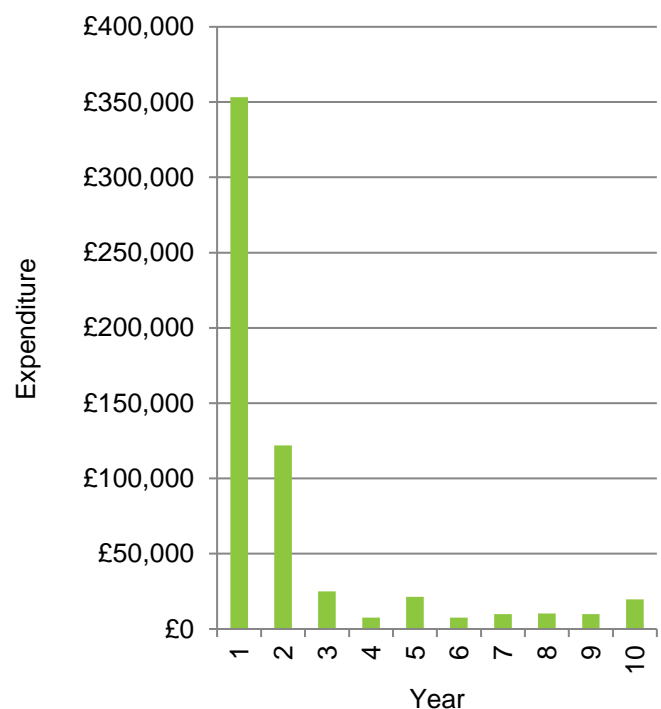
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Current Gas Leaks
- Most M & E Systems Beyond Serviceable Life Expectancy.
- Occurring faults may not be repairable.

- Electrical Safety & Compliance
- Incomplete Emergency Lighting
- Unattended water Leaks damaging HWS Plant.
- Legionella Risks amplified by missing insulation.

- Ventilation inadequate.
- Missing As Installed Information.
- HSE L8 Audit required.

## Annual Expenditure Profile



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Priority	1	2	3	4	5	6	7	8	9	10
Whole building	Incoming LV service	Main service head appears in fair condition. Main earth conductor termination and earthing arrangement is poor	Provide new main earth connection and earth bar	1	£1,000.00									
Whole building	Incoming LV service	Consumer tails not adequately fixed	Tidy installation and install cable supports. Complete suitable testing	1	£250.00									
Whole building	Incoming telecom service	DP and associated equipment damaged and held together with tape	Replace and tidy equipment	2	£1,000.00									
Whole building	Main equipotential bonding	Bonding conductors are a mixture of old and new colours. Bonding cables have been poorly installed	Upgrade bonding conductors and provide adequate cable supports	1	£1,500.00									
Original build	Mains distribution equipment	Existing mains distribution equipment is original and circa 44 years old. No 30mA RCD protection is provided. Equipment is obsolete	Replace distribution equipment. Provide 30mA RCD protection in accordance with BS 7671 and good practice	1	£20,000.00									
Extension	Mains distribution equipment	Existing mains distribution equipment appears to be 20 years old. 30mA RCD protection provided to socket circuits but not lighting circuits	Provide 30mA RCD protection to lighting circuits during any improvement works. Test installation	1	£1,500.00				£500.00					£500.00
Whole building	Surge protection devices	None present	Provide surge protection devices in accordance with BS 7671 & BS EN 62305	3	£5,000.00									
Whole building	Lightning Protection System	Building does not have an LPS system	Execute lightning protection risk assessment and undertake works as recommended by the risk assessment	2	£10,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00
Original build	Cable containment system	Cable containment system has exceeded its life expectancy	Replace as part of any rewire	3										
Original build	Small power services	Original accessories employed in most locations. Equipment has exceeded its life expectancy. No high integrity earthing systems employed	Replace accessories	1	£19,000.00									



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Priority	1	2	3	4	5	6	7	8	9	10
Original build	General lighting	Many luminaires have failed, most likely caused by faulty lamps or starters. Many luminaires would not strike and required multiple switching to start the fitting. Many luminaires appear original to building and have exceeded there life expectancy. Light switches appear original and have exceeded there working life	Replace luminaires throughout	1	£31,000.00									
Extension	General lighting	Lighting comprises of linear surface mounted cat 2 fluorescent luminaires. A number of luminaires do not operate	Re-lamp luminaires. Replace luminaires within 5 years	2	£500.00				£3,000.00					
Original build	Emergency lighting	Emergency lighting is very sparse and not complaint with BS 5266-1:2016. No luminaires are present at final exits and most points of emphasis. Existing emergency luminaires appear circa 15 years old	Provide a compliant emergency lighting system. Replace existing luminaires. Execute testing in accordance with BS 5266-8:2004	1	£19,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00
Extension	Emergency lighting	Some emergency lighting is present.	Execute design validation of emergency lighting to BS 5266-1:2016 and complete any improvements required.	1	£1,000.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
Original build	Fire escape signage	Many externally illuminated exit signs are present with incorrect directional arrows. Fire escape signage is not complaint with BS 5499-4:2013. Externally illuminated fire escape signage generally does not receive illumination from an emergency luminaire	Provide internally illuminated exit signs or emergency luminaire adjacent to the exist sign	1	£5,000.00									
Extension	Fire escape signage	Fire escape signage appears complaint	Continue testing & maintenance	3	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
Original build	Fixed wiring	The fixed wiring is original to the building and is expected to be circa 44 years old. The wiring has exceeded with life expectancy	Rewire the building	1	£50,000.00				£4,000.00					£4,000.00

# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Priority	1	2	3	4	5	6	7	8	9	10
Extension	Fixed wiring	The fixed wiring is expected to be circa 20 years old and appears in good condition	Continue annual testing and replace later	3	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£250.00	£5,000.00
Whole building	Automatic fire detection system	The fire alarm system appears to be a L5/M system with limited automatic detection in the habitable rooms. Manual call points are generally located at final exists. The fire alarm panel appears to have been replaced in the last 10 years. Detector and sounder circuit wiring and equipment is expected to be original	Replace original equipment and wiring	1	£25,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00
Whole building	Deaf alert system	Control panel appears to be original	Employ specialist contractor to survey equipment and report	2	£750.00	£4,000.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00
Original build	Fire door hold open devices	No local smoke detection adjacent to the fire doors	Install local smoke detection	1	£6,000.00									
Whole building	Intruder alarm system	System appears to have recently had a new control panel	Continue maintenance of system	3	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00
Original build	Access control to front door				£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00
Original build	Front powered opening door				£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00	£500.00
Whole building	Structured cabling system	Structured cabling system appears to have been installed during the construction of the new extension	System appears in fair condition	3										
Original build	Approved document Part M compliance of electrical services		Provide compliant services as works are completed											
Whole building	Fire resistance measures	Fire compartmentation requirements unknown	Complete review of fire stopping and resistance measures and upgrade where necessary. There are know compartment failures in the electrical switch cupboard	1	£5,000.00									
Whole building	Labelling of electrical services	Minimal labelling present	Provide good practice labelling strategy during any improvement works	2										



# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Priority	1	2	3	4	5	6	7	8	9	10
Original build	Access to equipment	Some distribution equipment is located in locations with poor access due to storage of materials or poorly sited equipment	Removal material obstructions. Re-site distribution equipment during any improvement works	2										
Whole building	Roof mounted services	Telecom and ELV services have been routed across the roof and are not secured	Replace wiring with internal wiring	2	£4,000.00									
External	Drinking fountains	Not insulated. Hygiene concern.	Insulate, check DoE recommendations for water bottles.	1	£3,500.00									
Gas meters cupboard	Incoming natural gas supply	External pipes appear redundant. IMG 9182.	Check if redundant and remove.	2	£500.00									
Gas meters cupboard	U40 kitchen meter	Pipes routed via unvented floor trench. IMG 9185.	Replace to current regulations.	1	£3,500.00									
Gas meters cupboard	U40 boilers meter	Pipes routed via unvented floor trench. IMG 9186.	Replace to current regulations.	1	£2,500.00									
Boiler room	3 no. gas fired cat iron boilers	Manufactured by Hamworthy in 1975, circa 44 years old.	Replace with high efficiency gas boilers circa 120kW with pumps and controls complete	1	£90,000.00									
Boiler room	Pumps and controls	Beyond serviceable life expectancy.	Replace	1	Included									
Gas distribution	Pipework in building	Not accessible. Strong gas smells found in room 58. Gas valve suspect not suitable for gas.	Urgent works to make safe.	<b><u>Urgent Hazard</u></b>	N/A									
Boiler room and throughout	Mains water supply to whole building	Fragile pipework, missing insulation, dissimilar metals.	Replace system complete to all outlets, remove redundant pipework and brackets (IMG 9229), complete L8 legionella audits.	2	£20,000.00	£20,000.00								
Boiler room	Gas fired water heater	Long term leak has caused damage to heater base an casing. See IMG 9248 & 9249	Replace.	1	£10,000.00									
Loft space over boiler room	Pressurisation Unit	None		3										£3,000.00
Loft space over boiler room	Redundant water tanks	To be removed		3	£1,000.00									

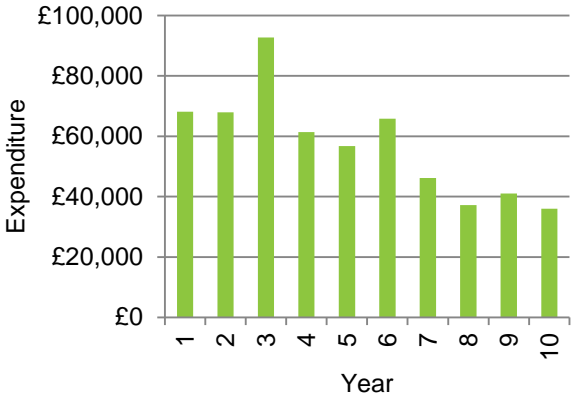
# Planned Preventative Maintenance Report

Location	Element	Defect	Remedy	Priority	1	2	3	4	5	6	7	8	9	10
Kitchen	Ventilation	GRP/aluminium canopy not to current standards (aluminium in food risk). See IMG 9188.	Replace	2			£15,000.00							
Kitchen	Hot and cold water services	Taps failing, no insulation.	Replace	2	Included									
Primary WC's	Ventilation	Girls WC no mechanical extract provision.	Install local ventilation	2	£1,500.00									
Primary WC's	Ventilation	Boys WC fan not working.	Replace	2	£500.00									
Primary WC's	Hot and cold water services	No insulation.	Provide	2	Included									
Primary WC's	Hot and cold water services	TMV3 testing on HWS	Carry out TMV3 testing	1	£1,000.00		£1,000.00		£1,000.00		£1,000.00		£1,000.00	
General	Heating distribution (pipes coils in ceiling void over tiles)	No control in classrooms and corridors (Offices with rads are OK). Generally inadequate in winter and too hot in autumn and spring.	Replace	2		£90,000.00								
General	Above ground waste pipework	Some leaks, e.g. kitchen (IMG 9192) and urinals (IMG 9226)	Repair/Replace	2	£1,500.00				£4,000.00					
General	Firestopping around services	Compromised	Survey and attend	1	CS2 cost									
General	Local ventilation systems	1 no. missing in room 43	Install	2	£800.00							£300.00		
General	Local ventilation systems	5 no. not working rooms 15, 24, 44, 51 & 64	Replace	2	£2,500.00							£2,500.00		
General	Local ventilation systems	4 no. door transfer grilles missing rooms 14, 15, 20 & 25	Install fire rated grilles	2		£1,000.00								
General	Mechanical Maintenance	On going servicing & PPM	PPM	2	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00	£2,000.00
Whole Building	Domestic Services	HSE L8 Legionella Audit Required		1	£4,000.00		£1,500.00		£1,500.00		£1,500.00		£1,500.00	
Totals					£353,150.00	£121,950.00	£24,950.00	£7,450.00	£21,450.00	£7,450.00	£9,950.00	£10,250.00	£9,950.00	£19,700.00

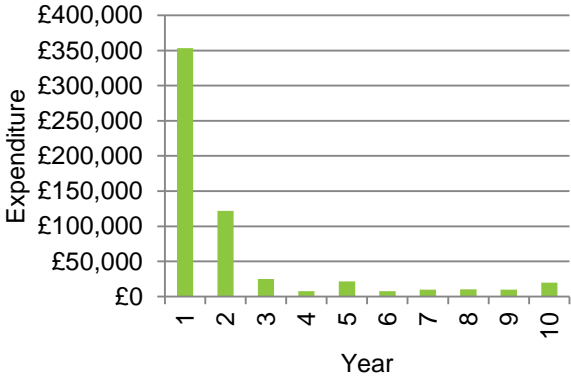
## 4.0 Expenditure Summaries

Expenditure Summaries

Building Fabric Schedule



M&E Schedule



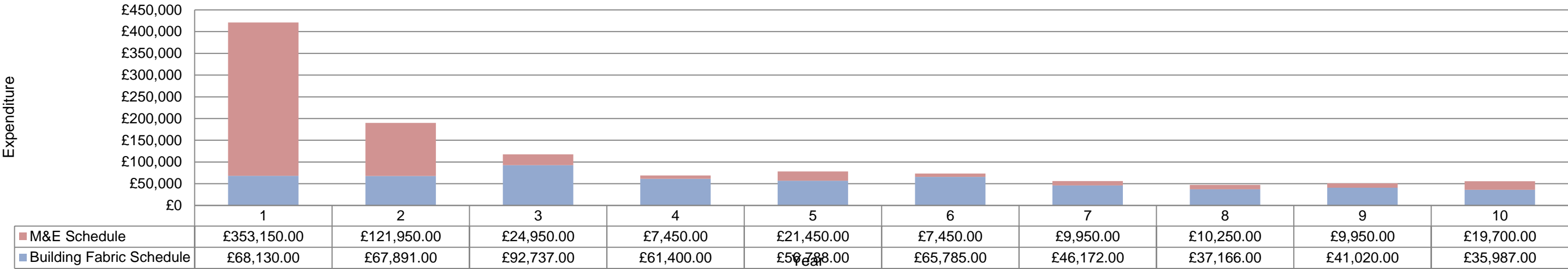
Planned Preventative Maintenance Report



Annual Expenditure Summary

		Year										
Ref.	Location	1	2	3	4	5	6	7	8	9	10	TOTAL
1	Building Fabric Schedule	£ 68,130.00	£ 67,891.00	£ 92,737.00	£ 61,400.00	£ 56,788.00	£ 65,785.00	£ 46,172.00	£ 37,166.00	£ 41,020.00	£ 35,987.00	£ 573,076.00
2	M&E Schedule	£ 353,150.00	£ 121,950.00	£ 24,950.00	£ 7,450.00	£ 21,450.00	£ 7,450.00	£ 9,950.00	£ 10,250.00	£ 9,950.00	£ 19,700.00	£ 586,250.00
	Totals											

Annual Expenditure Summary: Graph



## 5.0 Room Reference Plan

Do not scale from this drawing. All dimensions to be checked on site. This drawing to be read in conjunction with relevant NBS specification. All steelwork to structural engineers details / requirements.

Notes:

X	***/**	X	XX
Rev	Date	Note	By

CENTRAL SUPPORT SERVICES  
PROPERTY & FINANCE

Floor 6, 8 Bond,  
Smeaton Road,  
Bristol BS1 6EE  
Tel (0117) 903 7620  
Fax (0117) 903 7617  
M C Reynell, Director of Central Support Services



Client DIRECTORATE OF EDUCATION  
& LIFE LONG LEARNING

Project Title or Address  
ELMFIELD SCHOOL FOR THE DEAF SCHOOL  
GREYSTOKE AVENUE  
SOUTHMEAD  
BRISTOL BS10 8AY

Drawing Title  
FLOOR PLANS  
BLOCKS C, D, E & F

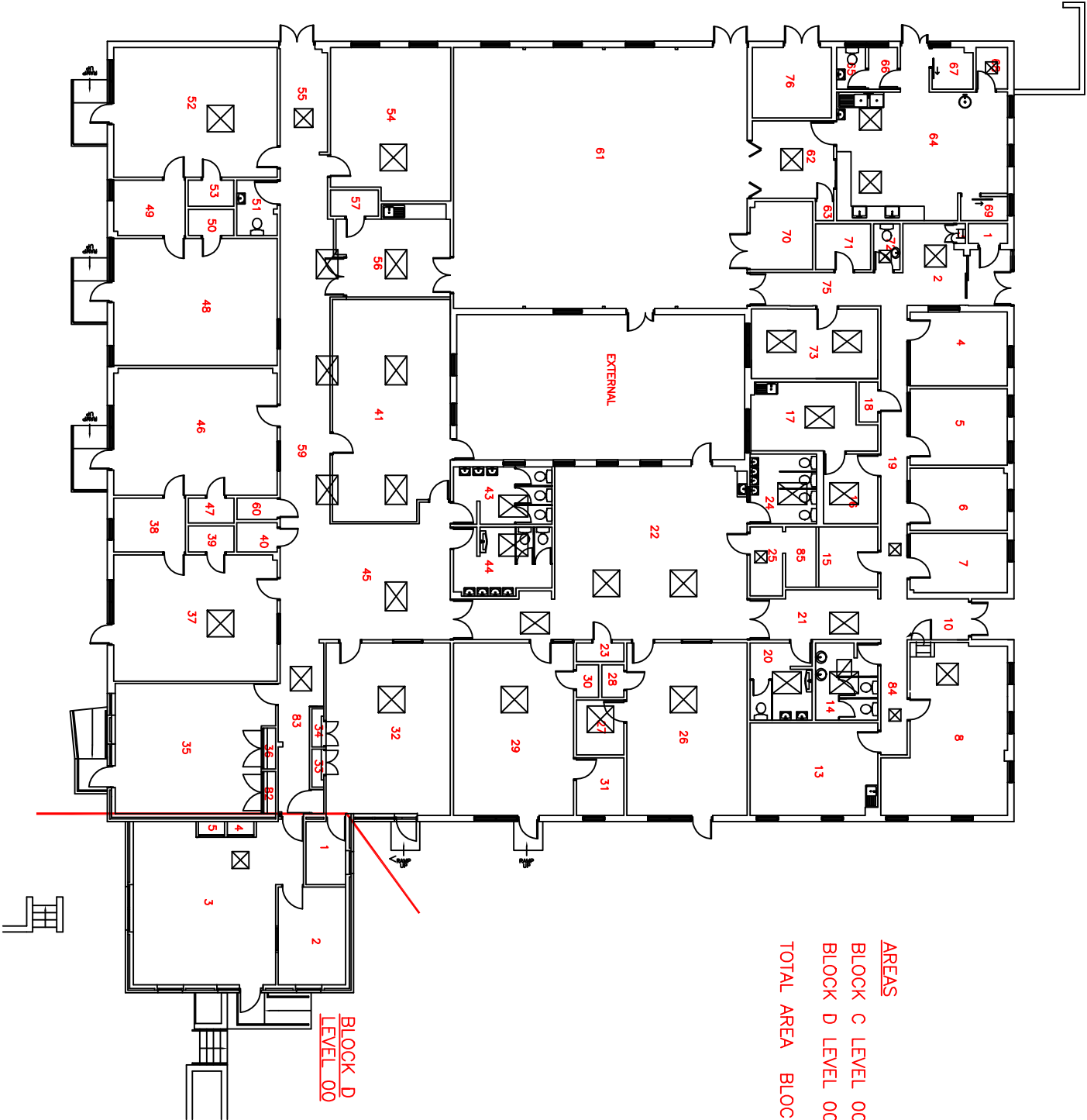
Drawn By	CADIT	Scale	1:250@A3
Date Drawn	NOV 2010	Issue Date	
Project Number	*****	Revision	X

Drawing Number  
156\_X\_00-P-B

DRAWING\_ISSUE

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BLOCK C  
LEVEL 00



AREAS

BLOCK C LEVEL 00 = 1102.7

BLOCK D LEVEL 00 = 59.5

TOTAL AREA BLOCKS C, D, = 1162.2 sq.m.